

PLANNING APPLICATION

122-124 Lonsdale Street Hamilton VIC 3300



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ATTACHMENT LIST

- Application Form
- Copy of Title
- Plan Pack
- Materials Schedule
- Arborist Report
- Stormwater Design

ACKNOWLEDGEMENTS

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DOCUMENT CONTROL

This document has been prepared to aid the submission of a planning permit application for 122 Lonsdale Street Hamilton VIC 3300

Revision 1 29/06/2023

PROPOSAL

It is proposed to construct a medical centre and associated works for occupation by the Mental Health Team at Southwest Healthcare.

The building is to front Lonsdale Street and contain 6 consulting rooms in addition to office space, back of house areas, a sensory garden and car park.

The consulting rooms include the following:

- Psychiatry Room
- Consulting room 1
- Consulting room 2
- Consulting Room 3
- Playroom/Observation Room
- Conference Room



Figure 1 Proposed internal layout including Consulting Rooms Numbered in red (6 total) shaded in yellow. Staff areas are shaded in green.

As there are 6 consulting rooms, it is expected that a maximum of 6 practitioners will be consulting from the premises at any one time.

The building is single storey with separate client and staff entrances.

PARKING

There are two client drop off bays accessed from St Marys Lane in the front setback, with a larger 20 space carpark to the rear of the building, also accessed from St Marys Lane. The total number of car parks is 22.

There are three bike hoops proposed adjoining the drop off spaces, which can accommodate 6 bicycles.

FLOOR AREA

The building has an internal floor area of 489sqm. The building is cut into the east side of the lot and designed to provide at grade access to the entrance and west side of the lot. Retaining walls will be installed as per the plans.

MATERIALS

External materials include a mix of Render, timber style cladding and brickwork in light grey and beige tones.

The windows and doors will have bronze aluminium tones.

The brickwork colour is almond in tone, which provides a suitable contrast to other light toned buildings in the vicinity of the site.

ROOF FORM

The roof is a skillion style butterfly roof form with a maximum building height on 4.25m above the floor level of the building. The entrance parapet extends slightly higher than the roof to provide a feature in the streetscape.

LANDSCAPING

A landscaped front setback including passive grassed areas and planted native gardens is proposed to Lonsdale Street. To the side and rear of the building there are an additional two secure courtyard areas – one for staff and one for clients. Surrounding the carpark will be a further grassed area. There is an at grade path from the accessible parking bay to the building entrance, as well as from the drop off car spaces to the entrance, and a path from Lonsdale Street to the entrance.

LAND USE

The proposed land use is for a medical clinic greater than 250sqm in floor area. More specifically the practise will provide community mental health services to pre-booked clients in the Hamilton Region. There will be no other un-associated land uses occurring on the site.

HOURS

Operating hours are yet to be finalised but expected to be between 7am and 9pm Monday to Friday and 9.00-5.00pm on Saturdays. Typical hours will be 8:30-5:00pm with appointments outside these times being based on client demand.

STAFFING

It is expected that a maximum of 16 staff will be on site at any time (6 practitioners and 10 support staff), with occasional visiting staff using 'hot desks' from other associated clinics run by Southwest Healthcare. The facility has been designed to grow over time depending on need and funding but will commence with a maximum of 6 practitioners on site.



Figure 2 Front entrance and courtyard detail showing garden, paths and entry to building.



Figure 3 Indicative Render of Lonsdale Street Elevation

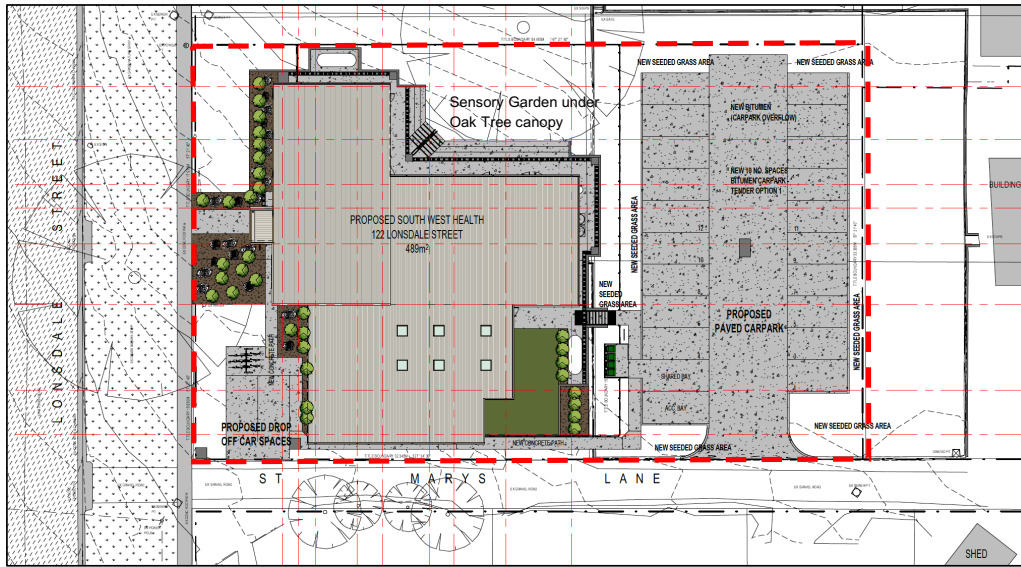


Figure 4 Site layout showing title boundary in red dash – showing 20 spaces in rear carpark and 2 drop of spaces in front garden.

PLANNING CONTROLS

The Town Planning Controls which apply to the property are as follows:

- The property is partially located in a Design and Development Overlay Schedule 2 - Cox Street Entry Precinct (122 Lonsdale St only).
- The property is located in a Heritage Overlay Schedule 311 - Monivae Junior School Hall (Partially applied to 124 Lonsdale Street – but is incorrectly mapped when compared to the written schedule).
- This property is located in a Residential Growth Zone.

PERMIT TRIGGERS

A permit is required under the following Clauses of the Southern Grampians Planning Scheme:

- Clause 32.07-2 (Residential Growth Zone) – A permit is required to use the land for a Medical Centre that has a gross floor area greater than 250sqm.
- Clause 32.07-8 (Residential Growth Zone) – A permit is required to construct a building or construct or carry out works for a use in Section 2 of Clause 32.07-2.
- Clause 43.02-2 (Design and Development Overlay) – A permit is required to construct a building or construct or carry out works.
- Clause 43.01-1 (Heritage Overlay) – A permit is required to construct a building or construct or carry out works. A permit is not required for demolition as the Heritage Overlay Mapping (although incorrectly mapped in relation to the Hall) does not cover the dwelling at 122 Lonsdale St Hamilton.
- Clause 52.05-13 (Signs) – A permit is required to construct and display a business identification sign

SITE ANALYSIS

The site comprises two individual property titles known as 122 and 124 Lonsdale Street or

- Lot 1 TP392581 (530sqm)
- Lot 2 PS743580 (1326sqm)

Both lots have a frontage to Lonsdale Street and adjoin St Mary's Lane which is a public road.

The property at 122 Lonsdale Street contains a rendered brick dwelling which is to be demolished.

The property at 124 Lonsdale Street contains the remnants of a former cricket net and former basketball court (partially – some of the court is located on 5 Clarendon Street and on 130 Lonsdale Street).

Overhanging the site from 130 Lonsdale Street is a mature English Oak tree which is proposed to be protected and retained in the development. The tree trunk is located approximately 0.91m from the title boundary.

Both lots combined have the following dimensions to the adjoining streets:

- Lonsdale Street – 33.8m
- St Marys Lane – 57m

RESTRICTIONS ON TITLE

There are no restrictions on either title.



Figure 5 Aerial photo of site 15 May 2023 (via Nearmap)

SURROUNDING AREA

To the east of the subject site are several titles which have been held by the Church for many decades. These titles include the St Mary's Hall at 126 Lonsdale Street and the Mary Knoll Centre (Medical and community consulting suites) at 130 Lonsdale St/23 Clarendon Street as well as the St Mary's Church complex and the presbytery including associated offices to the corner of Dinwoodie Street, Lonsdale Street and Clarendon Streets.

To the west are several titles which have been acquired over time by Council or the Roads Authority to facilitate changes to Cox Street traffic flows. All except one of these lots are currently vacant. There is some vegetation and small improvements on the lots.

To the north are residential properties with a small number of non-residential uses such as medical clinics fronting Lonsdale Street.

To the south are properties associated with the Church fronting Clarendon Street.

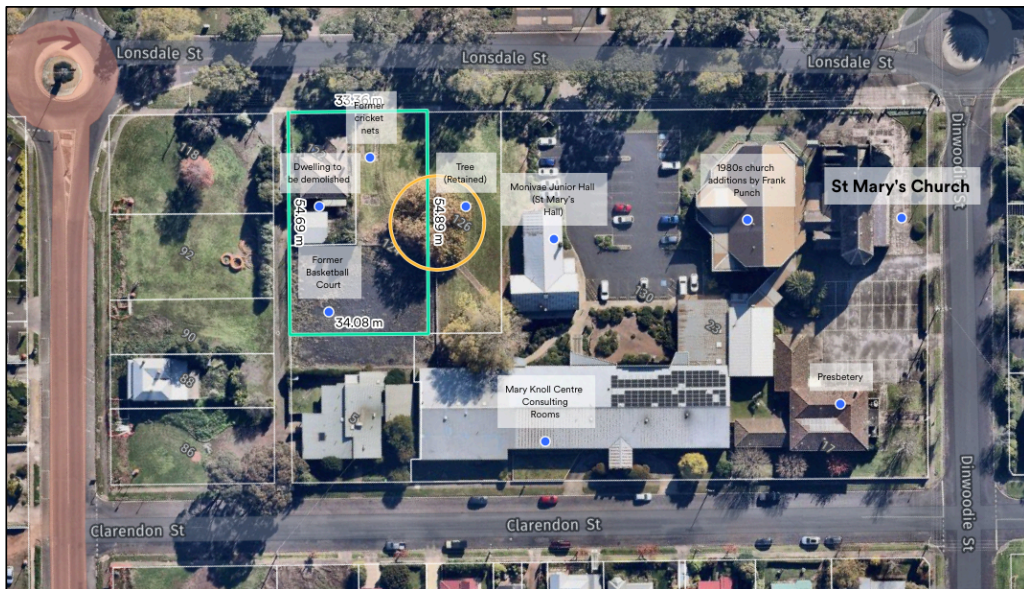


Figure 6 Block Plan showing surrounding context and land uses (Via Nearnmap 15 May 2023) Subject site outlined in Green, Oak Tree to be retained outlined in Orange.



Figure 8 Looking west along north side Lonsdale Street



Figure 8 Looking east along north side of Lonsdale Street



Figure 12 St Marys Lane from Lonsdale Street (vegetation to right of lane is partially within the lane and partially within the adjoining Cox Street property)



Figure 11 Lonsdale St Frontage of the property - house to be removed, street tree retained, and crossover removed.



Figure 10 St Marys (Monivae Junior) Hall at 130 Lonsdale Street showing English Oak to right of frame.



Figure 9 View from carpark near corner of Alexandra Parade and Lonsdale Street (adjoining Uniting Church/Memorial Area) Approximate building location outlined in red noting, the vegetation is on the Cox Street properties and will be unaffected by the proposed building.

SITE HISTORY

The site was purchased by Southwest Healthcare in 2021.

Prior to this the property at 122 Lonsdale Street was in private ownership and contained the dwelling and associated outbuildings which are on site today. Access to the outbuildings was via St Marys Lane.

The property at 124 Lonsdale Street was owned by the Roman Catholic Church, along with the remainder of lots in the block extending east to Dinwoodie Street.

In 2015, the church undertook a 4-lot re-subdivision to alter the title arrangements, creating the current 1326sqm lot at 124 Lonsdale Street (formerly part of the Monivae Junior School Grounds).

Prior to the Monivae Junior School being located on site, the lot at 124 Lonsdale Street contained a single dwelling (see 1962 photo).



Figure 13 Existing dwelling at 122 Lonsdale Street to be demolished.

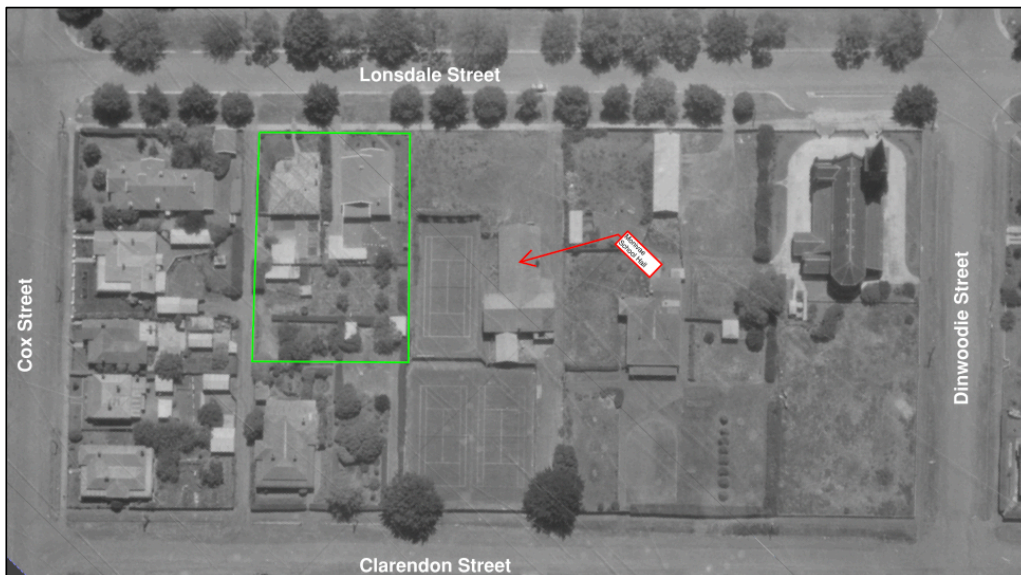


Figure 14 Block Plan 1962 (Source Landata) Approximate extent of Subject site outlined in Green and Monivae Hall labelled in Red.

PURPOSE AND VISION

02.02 VISION

The Shire's vision is to be a well-connected, dynamic regional centre, supporting a vibrant, healthy and inclusive community.

The Council Plan (2017-2021) identifies five fundamental priority areas. Those relevant to land use and development are to:

- Develop the regional economy and businesses.
- Plan for the built environment and infrastructure.
- Promote the natural environment.

Response

The proposal supports the Southern Grampians Shire Vision by providing additional services for a healthy and inclusive community.

02.03-5 BUILT ENVIRONMENT AND HERITAGE

The Shire's towns showcase the built and cultural heritage of the Western District and its pastoral industry. The presentation of the towns from the major roads is important in building community pride, creating a sense of place, protecting heritage values and supporting tourism.

Shopfronts, including verandahs and awnings, and signs form a major element of the built environment. The installation of unsympathetic shopfronts and signs may compromise both heritage buildings and the character and appearance of urban areas.

The Shire contains an outstanding array of European and Aboriginal heritage features, including some of the State's most important places of cultural heritage significance. Conserving these places is important for social, cultural and economic reasons.

Council will manage its built environment and heritage by:

- Protecting and enhancing the built environment.
- Enhancing the presentation of town centres, streetscapes, main streets and town entrances.
- Protecting and enhancing pre and post contact built and cultural heritage assets.
- Supporting development that respects a town's village character, through building scale, materials and form.

Response

This proposal supports and enhances the built environment and locale near the subject site. It does not detract from nearby heritage buildings and has been designed to integrate into the streetscape and provide an active garden setting.

PLANNING POLICY FRAMEWORK

11.03-6L HAMILTON

POLICY APPLICATION

This policy applies to all land shown in the Hamilton Structure Plan and Hamilton City Centre Urban Design Framework maps (Hansen Partnership, 2011).

OBJECTIVES

- To cohesively plan for the use and development of land in Hamilton.

- To achieve a liveable, beautiful, well planned and sustainable city.

Response

The location of the site is appropriate as the structure plan identifies the block between Cox and Dinwoodie Street as being suitable for Community or Church Uses. The construction of the Southwest Healthcare Community Mental Health Unit Clinic supports the plan for the use and development of land in Hamilton as it fits with the identified land use for the block as well as the other community/church uses in close proximity to the site.

The construction of the clinic will support the aims of the structure plan to achieve a liveable, beautiful, well planned and sustainable city.

STRATEGIES (AS RELEVANT)

Settlement

Encourage development that complements Hamilton's role as a major agricultural, health, education, community, government, retail and commercial services centre for the sub-region.

Response

The development of the Southwest Healthcare Community Mental Health Unit Clinic supports the role Hamilton plays as a major health hub in the sub-region.

Hamilton central business district

- Maintain the primacy of the central business district as the preferred location for higher order retail, office, entertainment, cultural, civic and community facilities.
- Design buildings to present active frontages to the street and to conceal service and car parking areas.
- Encourage use of materials, such as masonry, render, timber lining and exposed brickwork, that reflect local history and characteristics.
- Improve pedestrian routes to support investment and redevelopment.
- Concentrate government and civic activities, including associated commercial uses, in the areas shown as 'community/civic'.
- Encourage the activation of the rear and side of buildings that front onto laneways.
- Encourage water sensitive urban design and planting of shade trees as part of the development of private land.
- Encourage landmark, high-quality development in the areas shown as 'gateway location'.

Response

The proposed site for the clinic is within the central business district and in an area appropriate for community facilities to be located, as the structure plan identifies the whole block as being suited to community/civic uses.

The building has been designed to have a garden setting and active frontage to the street, concealing carparking areas to the rear of the property, accessed via the Lane.

The building materials use a variety of finishes which are light in tone and reflect local history and characteristics of building in Hamilton in a contemporary way.

The proposed building links to the existing pedestrian network, which will be soon improved by the planned works to the intersection of Cox Street and Lonsdale Street to provide a better connection into the CBD core area.

The building provides an active side frontage to the laneway, with staff amenities and outdoor courtyards adjoining the laneway.

The plans for the property include retention of the existing English Oak on site, the installation of a sensory garden and include utilisation of Water Sensitive Urban Design to minimise the impact of the building on the existing stormwater network.

Whilst the site is not in a 'gateway location' it provides a high-quality infill development which responds to the community/civic character of the area.

Economic development

- Encourage the development of a health precinct in the area shown as 'health' around the Hamilton Base Hospital.
- Support the development of entertainment and business facilities, particularly targeted at youth.

Response

The proposed clinic, whilst not located in the health precinct, is located in close proximity to both the Hamilton Base Hospital, the CBD Core and other health consulting services in the Mary Knoll Centre (also in this block).

The proposed clinic will increase the availability of mental health clinic services within the community, including for youth.



Figure 15 Hamilton City Centre Urban Design Framework (Hansen 2011) – Site marked with a pin.

Transport and infrastructure

- Plan for an alternate heavy vehicle route to the south of the city as part of the Coleraine Road and Southwest Industrial Precincts to reclaim Lonsdale and Cox streets for local traffic and pedestrian needs.

Response

Whilst the proposal does not impact on heavy vehicle traffic, the location of the site in Lonsdale Street will increase pedestrian activity in the area, and when coupled with the planned upgrades to the intersection of Lonsdale and Cox Streets to the west of the site, will assist in reclaiming the area for local traffic and pedestrian needs purely due to its location between the CBD core and the main health precinct at the Hamilton Base Hospital.

Policy documents

- Hamilton Masterplans (Hansen Partnership, 2011)
- Hamilton Structure Plan (Hansen Partnership, 2011)
- Hamilton City Centre Urban Design Framework (Hansen Partnership, 2011)

13.07-1S LAND USE COMPATIBILITY

OBJECTIVE

- To protect community amenity, human health and safety while facilitating appropriate commercial, industrial, infrastructure or other uses with potential adverse off-site impacts.



Figure 16 Hamilton Structure Plan (Hansen 2011)

Response

The proposed land use for a medical clinic is compatible with surrounding uses in the area including other similar medical clinics in the Mary Knoll Centre and low intensity residential uses, as well as the use of the adjoining property in relation to the functions of St Mary's Church.

STRATEGIES

- Ensure that use or development of land is compatible with adjoining and nearby land uses.
- Avoid locating incompatible uses in areas that may be impacted by adverse off-site impacts from commercial, industrial and other uses.

Response

The proposed use of the land for a medical clinic is compatible with adjoining and nearby land uses. There will be no unreasonable off-site impacts, the use of the land for a medical clinic has similar impact on the area to an office or other consulting use. There are no directly adjoining residential properties to the building, with the closest residential land uses being across the road to the north, or behind the proposed car park.

URBAN DESIGN

OBJECTIVE

To create urban environments that are safe, healthy, functional and enjoyable and that contribute to a sense of place and cultural identity.

STRATEGIES

- Require development to respond to its context in terms of character, cultural identity, natural features, surrounding landscape and climate.
- Ensure development contributes to community and cultural life by improving the quality of living and working environments, facilitating accessibility and providing for inclusiveness.
- Ensure the interface between the private and public realm protects and enhances personal safety.
- Ensure development supports public realm amenity and safe access to walking and cycling environments and public transport.
- Ensure that the design and location of publicly accessible private spaces, including car parking areas, forecourts and walkways, is of a high standard, creates a safe environment for users and enables easy and efficient use.
- Ensure that development provides landscaping that supports the amenity, attractiveness and safety of the public realm.
- Ensure that development, including signs, minimises detrimental impacts on amenity, on the natural and built environment and on the safety and efficiency of roads.
- Promote good urban design along and abutting transport corridors.

Response

The proposal will improve the urban environment and will create a space that improves community outcomes in relation to safety, health whilst creating a sense of place and cultural identity for the clinic and its garden setting.

The proposal building will provide a high quality, accessible and inclusive working environment for both clients and staff.

The site is designed to provide a high quality safe public realm around the building to create a safe environment to enable easy and efficient use.

The proposed landscaping will support the amenity, attractiveness and safety of the public realm around the building, including the installation of a sensory garden for client use around the English Elm tree.

The proposed signage is minimal and integrated into the building design. It will not have a significant impact on the area.

HERITAGE CONSERVATION

OBJECTIVE

To ensure the conservation of places of heritage significance.

STRATEGIES

- Identify, assess and document places of natural and cultural heritage significance as a basis for their inclusion in the planning scheme.
- Provide for the protection of natural heritage sites and man-made resources.
- Provide for the conservation and enhancement of those places that are of aesthetic, archaeological, architectural, cultural, scientific or social significance.
- Encourage appropriate development that respects places with identified heritage values.
- Retain those elements that contribute to the importance of the heritage place.
-

Response

The proposed site, whilst partially mapped as including a heritage overlay, does not include any heritage buildings of significance.

The dwelling to be demolished is not in a heritage overlay and is not of significance.

The proposed retention of the English elm, whilst not protected under the heritage overlay, is appropriate to the wider character of the area and quasi heritage setting.

The church hall is not on the subject property and is not affected by this proposal and is well separated from the site by an open setting to the west of the hall building.

The proposed building will not crowd the nearby heritage buildings or wider setting around the Church buildings.

HERITAGE CONSERVATION

POLICY APPLICATION

This policy applies to land in the Heritage Overlay.

STRATEGIES

- Retain and reuse heritage places for their contribution to a sense of place and the Shire's history, the cultural landscape, and the potential to support tourism.
- Ensure that use and development respond positively to, and does not prejudice, the heritage character and setting of the site, the locality and the Shire.

- Support development where building form, design, siting and materials are compatible with the traditional building form, design, siting and materials of the area.
- Retain trees associated with the Shire's cultural heritage.
- Discourage painting any unpainted stone on bluestone buildings.
- Discourage the use of internally illuminated or reflective signs.

POLICY DOCUMENTS

- City of Hamilton Conservation Study (Timothy Hubbard Pty Ltd, 1991)
- Southern Grampians Shire Heritage Study (Timothy Hubbard and Annabel Neylon, 2004)

Response

The proposed building meets both the objectives and strategies under this policy, and although the Heritage Overlay is incorrectly mapped, the policy outcomes sought were considered in the design brief. The English Elm is retained, with the building designed around it, and the building's single storey form ensures it is not a dominant element in the streetscape, retaining distant views to the St Mary's Church Spire and associated buildings.

The proposed signage is simple lettering including the Southwest Healthcare Logo, is backlit and it not reflective.

DIVERSIFIED ECONOMY

OBJECTIVE

To strengthen and diversify the economy.

STRATEGIES

- Protect and strengthen existing and planned employment areas and plan for new employment areas.
- Facilitate regional, cross-border and inter-regional relationships to harness emerging economic opportunities.
- Facilitate growth in a range of employment sectors, including health, education, retail, tourism, knowledge industries and professional and technical services based on the emerging and existing strengths of each region.
- Improve access to jobs closer to where people live.
- Support rural economies to grow and diversify.

Response

The proposed medical clinic supports the diversifies the local economy, by improving access to specialist medical care, by providing more jobs within the community and connecting with other health services in the region through Southwest Healthcare.

BUSINESS - GREAT SOUTH COAST

STRATEGY

- Support growth and redevelopment of the Hamilton, Portland and Warrnambool Central Business Districts.

Response

The proposed medical clinic supports the ongoing growth and re-development of the CBD precinct.

HEALTH FACILITIES

OBJECTIVE

To assist the integration of health facilities with local and regional communities.

STRATEGIES

- Facilitate the location of health and health-related facilities (including acute health, aged care, disability services and community care facilities) taking into account demographic trends, the existing and future demand requirements and the integration of services into communities.
- Plan public and private developments together, where possible, including some degree of flexibility in use.
- Locate hospitals and other large health facilities in designated health precincts and areas highly accessible to public and private transport.
- Provide adequate car parking for staff and visitors of health facilities.

Response

The proposal provides for additional health services to be provided in Hamilton. The medical centre will be staffed and provide consultation appointments by referral with clients. The clinic is not an inpatient or walk in service.

The proposal will assist in meeting demand for these types of services within the Hamilton community.

The proposed clinic is located in proximity to both the existing hospital and health precinct and the CBD Core.

The proposal provides adequate parking for both staff and clients, meeting the parking rates as specified in the planning scheme.

HEALTH FACILITIES - GREAT SOUTH COAST

STRATEGIES

- Create connections between key health institutions and major centres throughout the region.
- Support the renewal, maintenance and improvement of health facilities.

Response

The proposed clinic is to be operated by Southwest Healthcare, which improves connections across the region between the various health services.

The clinic provides for an improvement in scope and accessibility of services within Hamilton, whereas clients currently need to seek referrals and travel to Warrnambool or Portland for similar clinical services.

RESIDENTIAL GROWTH ZONE

OBJECTIVES

- To implement the Municipal Planning Strategy and the Planning Policy Framework.
- To allow educational, recreational, religious, community and a limited range of other non-residential uses to serve local community needs in appropriate locations.

DECISION GUIDELINES

Before deciding on an application, in addition to the decision guidelines in Clause 65, the responsible authority must consider, as appropriate:

Non-residential use and development

- Whether the use or development is compatible with residential use.

The proposed use and development are compatible with nearby residential uses. The area is a mix of residential and community uses including medical clinics, community facilities and religious facilities.

- Whether the use generally serves local community needs.

The proposed use will serve an identified local community need and is fully funded.

- The scale and intensity of the use and development.

The scale and intensity of the use and development is appropriate to the context of the site and will not be of an intensity which impacts other uses in the area.

- The design, height, setback and appearance of the proposed buildings and works.

The building has been designed to integrate into a landscape setting, similar to that of a front garden of a residential building or dwelling. The retention of a landscape setting and the contemporary single storey architecture provides a high-quality appearance which will integrate into the surrounding area.

- The proposed landscaping.

The proposed landscaping is extensive and includes a sensory garden including retention of the English Elm. This is appropriate to the context of the site and area.

- The provision of car and bicycle parking and associated accessways.

The proposed building includes provision of staff and accessible car parking facilities. There is no waiver of the car parking provision required.

- Any proposed loading and refuse collection facilities.

Loading areas are not required. Refuse will be stored on site, with collection coordinated by the clinic, with regards to Council's requirements for the collection of refuse from commercial land uses.

- The safety, efficiency and amenity effects of traffic to be generated by the proposal.

The proposed site layout provides for a high amenity, which is both safe and efficient. The use of St Mary's Lane to access the carpark ensures there will be no significance impact on traffic in Cox Street. A drop off short-term space is proposed in the front setback accessed from the laneway.

HERITAGE OVERLAY SCHEDULE 0311

HERITAGE CONTEXT

The 1991 City of Hamilton Heritage Study describes the Monivae Junior Hall as being located at 124 Lonsdale Street Hamilton.

Whilst the property at 124 Lonsdale Street Hamilton did form part of the Monivae Junior School in 1991, the Hall itself was located further east and does not form part of the current property known as 124 Lonsdale Street Hamilton. The Hall forms part of the property now known as 130 Lonsdale Street.

The T Shaped Brick Hall referred to in the Heritage Citation was originally known as the St Mary's Church Hall and was located to the west of the Presbytery Building (now demolished) and St Marys Church.

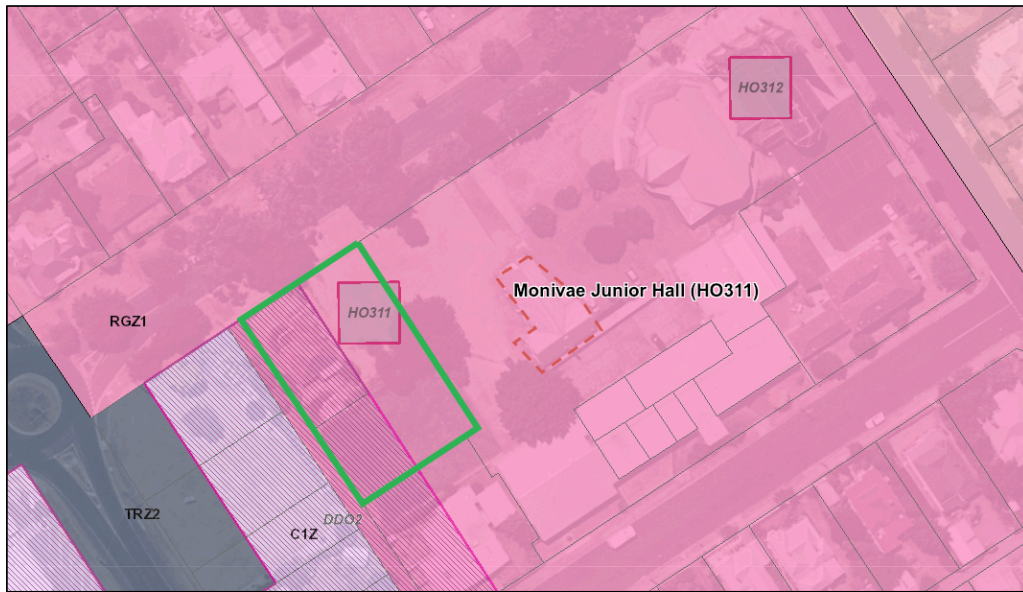
The Hall was built after the church around 1886 in the same location as the original wooden church (which was moved off site). The Hall was added to in 1929 to add supper rooms at the rear, creating the T Shape (Source Western Border Parish History).

The Monivae Junior Hall (or more appropriately, the St Mary's Hall) is still in situ today, and generally intact as viewed from the streetscape. It is located on the property at 130 Lonsdale Street (the main church complex) and adjoins the main carpark area for the church, the Mary Knoll Centre and associated spaces.

The heritage mapping prepared in 1991 incorrectly identifies the building as being located on the subject property, it is not. There are no features of identified Heritage Significance on either of the properties being 122 Lonsdale Street or 124 Lonsdale Street.

SCOPE

*The requirements of this overlay apply to heritage places specified in the schedule to this overlay. A heritage place includes both the listed heritage item and its associated land. **Heritage places may also be shown on the planning scheme map.***



HO311	Monivae Junior School Hall 124 Lonsdale Street	No	No	No	Yes	No	No	Yes
HO312	St Mary's Catholic Church c1865-6, W Wardell & J Fox 136 Lonsdale Street	No	No	No	Yes	No	No	Yes

Figure 17 VicPlan Map showing Planning Controls and location of Monivae Junior Hall in addition to excerpt from the Heritage Overlay Schedule HO311 (Subject site outlined in Green)



Figure 18 Lonsdale Street showing the 1980s Church extensions to the left, St Marys Hall (Monivae Junior Hall) to the centre, the English Oak Tree to the right and the approximate area of the subject site outlined in White (boundary is 0.91m to the west of the English Oak Trunk)

As such, the scope of the Heritage Overlay applies only to the Hall building as specified in the schedule to the overlay. The Heritage Place is not identified correctly on the associated map.

Whilst this is not a matter this application can address; it is recommended that Council investigate correcting the mapping associated with the schedule to ensure there is no ongoing confusion in the future.

PRELIMINARY HERITAGE COMMENTS

Preliminary comments were provided from Council's Heritage Advisor based on an early draft of plans in 2022.

The building looks suitable for the site.

It is well articulated and is designed to be viewed from 360 degrees: the elevations to Lonsdale Street, Mary's Lane, the open space to the east and the carpark all present well. Essentially it does not have a back elevation which is ideal for this highly visible site.

The articulated skillion roof forms are contemporary and appropriate within the site context which combines a disjointed mixture of uses and building types. The roofs break down the mass of the building so that the scale of the single storey building is modest and appropriate to neighbouring residential areas and the horizontally oriented school buildings further along Lonsdale St. There is no pretence at heritage forms and the building will establish a confident modern building on this important edge to the CBD.

The courtyard space is well located both for the building inhabitants and to create a staggered open edge to the green space around the hall rather than a hard wall of building.

The church will remain the pre-eminent structure in long views up Lonsdale Street. The proposed building is unlikely to have a detrimental visual impact on site lines to the church, the historic church hall or the open space around it.

There are a number of large mature trees on or adjacent to the site. They may date from the time when the hall was built and are therefore of historic significance and contribute to the setting. I would like to see photos of the two trees that are proposed for removal to ensure that there are no detrimental effects to the hall setting generally. A single large tree is shown on the east boundary, but it is not shown on the demolition plan.

Trudy Rickard – Wednesday 22 June 2022

TREES

Aerial photography from 1962 indicated that the current trees on site were planted after this date, presumably after the dwelling at 124 Lonsdale Street was acquired by the school and later demolished.

As such, the trees are unlikely to have any particular heritage significance due to their younger than assumed age and there are no tree controls in HO311 (which applies to the Hall not this site).

Nonetheless, the English Oak Tree on 130 Lonsdale Street retains environmental and contextual significance, and the building has been designed to ensure its ongoing health and retention even though it is located on the adjoining property to the west.

ASSESSMENT

The proposal building will not detract from the heritage significance of the area and will not more specifically detract from the heritage significance of the hall on the properties to the north of the site.

The building signage is not within the area mapped as containing the heritage overlay.

The external materials have been chosen to complement the material of the hall, using light brown and beige tones to ensure there is no mismatch with the brown brick façade and cream paintwork on the hall.

The front setback of the building is complementary to the streetscape character and retains a garden setting around the building. The carpark is located off St Marys Lane and to the rear of the building, this is an appropriate response to the streetscape setting.

The proposed building will not have an adverse impact on or detract from the significance of the nearby St Marys Hall (Monivae Junior Hall) which the heritage overlay seeks to protect.



Figure 19 1962 Aerial photo. English Oak Tree is located to the right of the tree symbol, at the edge of the tennis court. It does not appear to have been planted in 1962.

DESIGN & DEVELOPMENT OVERLAY SCHEDULE 2

Design and Development Overlay Schedule 2 applies to the property at 122 Lonsdale Street.

DESIGN OBJECTIVES

COX STREET ENTRY PRECINCT

- To create a landmark entry into the central business district area and a strong, active urban edge to Cox Street.
- To promote opportunities for large format retail/bulky goods development along Cox Street and promote infill development in the blocks immediately behind Cox Street.
- To consolidate lots on Cox Street north of Gray Street, providing a key location for a Discount Department Store development.
- To establish through block laneways, creating a permeable pedestrian framework and connecting car parks behind.
- To improve active frontages and retail potential along French Street and Station Street.
- To promote mixed use development along the eastern side of Cox Street.
- To promote mixed use infill development in the street block between Sedgewick Street and Finders Street.
- To manage urban form on Cox Street to protect views to the Hamilton College tower to the north and Mt Pierrepont to the south by maintaining heights and setbacks to preserve the view corridor.
- To implement the Cox Street Masterplan, 2011.

Response

Whilst the proposal is outside the area identified under the Cox Street Masterplan, it is still included within the mapped schedule for the overlay.

The precinct boundary includes the properties at 86-118 Cox Street which back onto St Marys Lane.

Given the property is outside the precinct boundary and the objectives specifically seek outcomes along Cox Street, some 50m to the west of the subject site.

St Mary's Lane is identified as the end of the precinct, and since the masterplan was undertaken has been converted from a public lane under common law and transferred to the Southern Grampians Shire as a public road. This occurred through a transfer process in the subdivision related to TP/25/2015 and the road was gifted to Council by the Roman Catholic Church at no cost.

The conversion of the lane to a public road under the Road Management Act achieved one of the key requirements/objectives of the plan to establish rear lane access to car parking.

The existing public road is being utilised to access the car parking area and the through block link provided by St Marys Lane is unaffected by this proposal retaining access to both the subject site, the properties at 86-118 Cox Street and 5 Clarendon Street.

REQUIREMENTS (AS RELEVANT)

The following buildings and works requirements apply to an application to construct a building or construct or carry out works:



Figure 20 Cox St Masterplan Hansen (2011) Subject Site Identified with a Pin.

HEIGHT AND SCALE

- Buildings should not exceed a maximum building height of 3 storeys.
- The scale of buildings should relate to abutting development, wherever possible.

BUILDING SETBACKS AND FORM

- Buildings should be built to side boundaries unless a side setback is required as a display area for outdoor trading.
- Active frontages should be provided along all street edges.

BUILDING MATERIALS

- Traditional building materials, including masonry, render, metallic sheeting and large areas of glazing should be used in an innovative manner.
- Building material colours should complement those found in the local landscape and/or streetscape.
- Highly reflective textures or colours should be avoided.

CAR PARKING AND ACCESS

- Vehicle access to development on Cox Street should be provided by rear laneways.
- Car parking should be located to the rear of buildings or in underground basement car parks.

SIGNS

Sign requirements are at Clause 52.05. In addition to the requirements at Clause 52.05, signs should meet the following requirements.

- Signs should be coordinated and compatible with the building design.
- Signs should be consolidated into a single under awning sign and a fascia panel located below the parapet.
- Above verandah signs should be avoided.

The block between St Marys Lane, Lonsdale, Clarendon and Dinwoodie Streets is not identified as being part of any of the precincts –

- It is not Core retail/business.
- It is not Bulky Goods
- It is not mixed use (west side of St Marys Lane is though)
- It is not consolidated Residential.

Section 4 Building Configuration provides guidelines around the function, interface and external spaces of a site. The proposal generally meets the guidelines in relation to these matters through its siting, layout and design.

The proposed modest signage responds to the requirements outlined above and is appropriate to the context of the area.

As such, the proposed building meets the objectives of the Overlay to improve the streetscape setting around the Cox Street precinct and will be a high-quality addition to the area.

CLAUSE 52.05 SIGNAGE

The Residential Growth Zone specifies signage is Category 3.

A permit is required for a business identification sign.

The purpose of Category 3 – High Amenity Areas is to ensure that signs in high-amenity areas are orderly, of good design and do not detract from the appearance of the building on which a sign is displayed or the surrounding area.

Application Requirements –

The signage is detailed on the building elevations, site plans and signage schedule.

The bollard sign is located in proximity to the front entrance of the building within the garden setting and will not readily be discernible other than from in front of the site.

The fascia sign is a simple backlit sign on the entrance façade and will not have any impact on traffic or the wider streetscape. The signage is restricted to individual lettering attached to the buildings cladding and will be backlit (not internally illuminated) to emit a soft glow, assisting in wayfinding for when the clinic is operating into extended hours.

The area of signage is modest, with the detailed signage information being placed on the bollard sign and the fascia sign being restricted to the Southwest Healthcare Logo. The use of the logo to identify services operated by Southwest Healthcare is a common feature across the region.

The signage is appropriately integrated into the façade and the garden setting of the building, responding to the context of the area where signage is generally modest in relation to the various medical centre uses around the site (including in the Mary Knoll Centre).



Figure 21 Example Large Bollard sign at Warrnambool Community Health by Southwest Healthcare

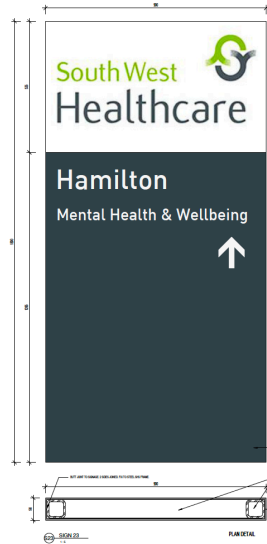


Figure 22 Proposed bollard sign.



Figure 23 Proposed signage in 3d and garden setting.

CLAUSE 52.06 CAR PARKING

The required rate of car parking for a medical centre is 5 spaces for the first practitioner and 3 spaces for every practitioner after that.

The proposed maximum number of practitioners at any one time is 6.

This equates to a required car parking rate of 5 for the first practitioner and 15 for the other 5 practitioners.

The total required rate of car parking to be provided on site for 6 practitioners is 20 spaces.

The proposal provides 22 spaces.

As such, the car parking requirements are being met by the proposal and a waiver is not required.

CLAUSE 52.34 BICYCLE PARKING

One bicycle space is required to be provided for visitors for every 4 practitioners. 6 practitioners are proposed to operate from the site. This requires provision of 1 bicycle parking space.

The proposal includes three bicycle racks allowing 6 bikes to be parked, exceeding the requirement to provide 1 space, by 5 spaces.

SUMMARY

The proposed medical centre is a suitable land use in the Residential Growth Zone and will not have an unreasonable amenity impact on the surrounding area. The building has been designed to respond to the streetscape character and utilise the existing road network for access. Car parking and bicycle parking is proposed on site in excess of the required rate, and the garden setting of the building will be a positive addition to the area.

It is respectfully requested that Southern Grampians Shire Council consider the application as attached and issue a planning permit with relevant conditions to support the application.

Should a permit be issued, Southwest Healthcare is hoping to commence construction in late 2023, with a view to opening the service in late 2024 to support the Hamilton and wider shire community.

- CIVIL NOTES**
- C11. Land to be removed: SOUTH WEST HEALTH, 122 / 124 LONSDALE ST, HAMILTON, VIC 3300 LEVEL DATUM IS PM 47 WIDE SMS (188425 AHD).
 - C12. REMOVE ALL GRASS, TOPSOIL, TREE AND SHRUB ROOTS ETC FROM ALL AREAS TO BE PAVED OR FIELDED.
 - C13. DRAINAGE, SERVICES AND CONDUIT TRENCHES UNDER ROADS, FOOTPATHS, ANY PART OF THE TRACKS AND BUILDINGS ARE TO BE BACKFILLED IN ACCORDANCE WITH IDM SO 310.
 - C14. THE LOCATION OF EXISTING UNDERGROUND SERVICES SHOWN ARE INDICATIVE ONLY. THE CONTRACTOR IS RESPONSIBLE FOR CONTACTING ALL AUTHORITIES TO DETERMINE THE LOCATIONS OF UNDERGROUND SERVICES PRIOR TO THE COMMENCEMENT OF DRAINAGE INSTALLATION. ANY CLASH OF THE DRAIN WITH A SERVICE IS TO BE REPORTED TO THE DESIGN ENGINEER IMMEDIATELY. THE CONTRACTOR SHALL ENSURE THAT SERVICES ARE FULLY PROTECTED DURING CONSTRUCTION. ANY SERVICES DAMAGED DURING CONSTRUCTION SHALL BE REPAIRED AT THE CONTRACTORS EXPENSE.
 - C15. SERVICES OTHER THAN THOSE SHOWN ON THE DRAWINGS MAY EXIST. THE CONTRACTOR IS TO ALLOW IN THE TENDER PRICE FOR THE ALTERATION TO SERVICES WITHIN THE SITE, INCLUDING THE ADJUSTMENT OF PIT COVER LEVELS AND THE REMOVAL OR SEALING OF UNWANTED SERVICES.
 - C16. EXPOSED SUBGRADE AREAS SHALL BE PROOF ROLLED UNDER THE SUPERVISION OF THE CONSTRUCTION ENGINEER IN ACCORDANCE WITH THE IDM. SOFT AREAS DETECTED SHALL BE EXCAVATED AND BACKFILLED AS DIRECTED.
 - C17. FINE CRUSHED ROCK BASE COURSES ARE TO BE COMPACTED IN 300mm THICK LAYERS TO 98% BASE COURSE MODIFIED DRY DENSITY COMPACTATION.
 - C18. MINIMUM CONCRETE STRENGTH TO BE F'c = 32 MPa UNLESS SPECIFIED OTHERWISE.
 - C19. THE CONTRACTOR SHALL AT ALL TIMES DURING THE CURRENCY OF THE WORK PROTECT THE PUBLIC FROM THE WORKS, PLANT, TRENCHES ETC. OCCASIONED BY THE WORKS BY THE USE OF BARRICADES AND BARRIERS. SUCH PROTECTIVE MEASURES WILL BE SUBJECT TO THE APPROVAL OF COUNCIL. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE OR INJURY ARISING FROM THE NEGLIGENCE OR INSUFFICIENCY OF SUCH PRECAUTIONS.
 - C110. THE CONTRACTOR IS ADVISED THAT THE MINES (TRENCHES) REGULATIONS 1982 WILL APPLY TO THIS PROJECT. THE CONTRACTOR IS REQUIRED TO SATISFY AND/OR PUT INTO EFFECT ALL REQUIREMENTS OF THESE REGULATIONS AND THOSE OF THE OFFICE OF MINERALS AND ENERGY.
 - C111. THE WORKS SHOWN HEREIN ARE SUBJECT TO THE SUPERVISION OF THE CLIENT'S APPOINTED SUPERINTENDENT/CLERK OF WORKS.
 - C112. CARE IS TO BE TAKEN TO PROTECT THE EXISTING FENCES, TREES, BUILDINGS AND OTHER ITEMS TO BE RETAINED FROM ANY DAMAGE.
 - C113. UNWANTED PITS AND PIPES ARE TO BE REMOVED AND THE TRENCH IS TO BE BACKFILLED IN ACCORDANCE WITH IDM SO 310.
 - C114. THE CONTRACTOR SHALL INSPECT THE SITE AND DETERMINE THE EXISTING PAVING, PITS, PIPES, SERVICES, TREES, SHRUBS, SPONG DRAINS, CONCRETE, BUILDINGS ETC. THAT ARE TO BE REMOVED AND HE SHALL ALLOW IN HIS TENDER PRICE FOR ALL COSTS ASSOCIATED WITH THE NECESSARY REMOVAL.
 - C115. IN AREAS WHERE THERE IS TO BE STRUCTURAL FILLING UNDER BUILDINGS OR PAVING, STRIP SITE OF UPPER ROOF MATERS TO DESIGN LEVELS AND PROOF ROLLED IN ACCORDANCE WITH THE IDM. SOFT AREAS DETECTED SHALL BE EXCAVATED AND BACKFILLED AS DIRECTED. ALL FILLING OVER 300mm DEPTH WITHIN ROAD RESERVES MUST BE UNDERTAKEN IN ACCORDANCE WITH ASS798 TO THE SATISFACTION OF COUNCIL.
 - C116. ALL STORMWATER DRAINAGE PIPES SHALL NOT BE SUBJECT TO CONSTRUCTION TRAFFIC LOADING DURING CONSTRUCTION UNLESS THE PIPE STRENGTH CHARACTERISTICS HAVE BEEN COMPLETED AND APPROVED BY THE NOMINATED CONSTRUCTION ENGINEER. COMPUTATIONS ARE TO BE IN ACCORDANCE WITH AS-3721 (1989) LOADS ON BURIED PIPES. CONCRETE PIPES DAMAGED DUE TO CONSTRUCTION LOADS SHALL BE REPAIRED AT THE CONTRACTORS COST.
 - C117. THE CONTRACTOR SHALL BE RESPONSIBLE TO DETERMINE THE AMOUNT OF MATERIAL THAT IS AVAILABLE FROM SITE DECONTAMINATION WORK THAT IS SUITABLE FOR USE AS STRUCTURAL FILLING AND SHALL ALLOW IN HIS PRICE FOR THE SUPPLY OF CLASS 3 FINE CRUSHED ROCK TO MAKE UP ANY SHORTFALL OF MATERIAL.
 - C118. ALL TRENCHES ARE TO BE BACKFILLED IN ACCORDANCE WITH I.D.M. STANDARD DWS 50310.
 - C119. UNLESS NOTED OR SHOWN OTHERWISE ALL CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE INFRASTRUCTURE DESIGN MANUAL (I.D.M.) STANDARD DRAWINGS.
 - C120. RAISED RETRO-REFLECTIVE PAVEMENT MARKINGS SHALL BE INSTALLED IN ACCORDANCE WITH AUSTRADROADS GUIDE TO TRAFFIC MANAGEMENT PART 10 AND AS 1742.2.
 - C121. CONTRACTOR SHOULD PREPARE A DILAPIDATION REPORT IDENTIFYING THE CONDITION OF ALL EXISTING INFRASTRUCTURE PRIOR TO THE COMMENCEMENT OF WORKS.

- CIVIL NOTES**
- C122. FILLING UNDER DRIVEWAYS IS TO BE APPROVED BY SUPERINTENDENT AND CONSTRUCTED IN LAYER 150mm DEPTH, COMPACTATION ACHIEVING 98% AUSTRALIAN DRY DENSITY.
 - C123. PROVIDE 0.3m RADIUS TO KERBS AT INTERNAL CORNERS UNLESS NOTED OTHERWISE.
 - C124. SAWCUT EXISTING PAVEMENTS WHERE REQUIRED FOR INSTALLATION OF NEW KERBS AND WHERE NEW WORK IS TO MATCH EXISTING.
 - C1125. PROVIDE 75mm DEEP TOOLED JOINTS IN KERBS, KERB AND CHANNEL AT 2.5m MAXIMUM CENTRES.
 - C1126. MIN PIPE GRADE IS 1 : 120 FOR ANY STORMWATER LINE.



SOUTH WEST HEALTH 122 / 124 LONSDALE ST, HAMILTON, VIC 3300

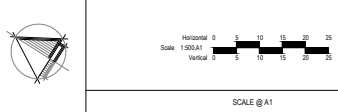
SHEET LIST TABLE	
Sheet Number	Sheet Title
01	Civil Face
02	Existing Conditions Plan
03	Stormwater Plan
04	Stormwater Detail Plan
05	Pavement Jointing Plan
06	Mary's Lane Upgrade Plan



PRELIMINARY

LOCALITY PLAN
(SCALE: 1:500@A1)

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REV	DATE	BY	APP	REVISION DESCRIPTION	REV	DATE	BY	APP	REVISION DESCRIPTION
A	11/04/2023	SP	AS	PRELIMINARY DRAWING					

ENGINEER AS **PM DESIGN GROUP**
 DESIGNER AS Engineering Solutions
 DRAWN AS
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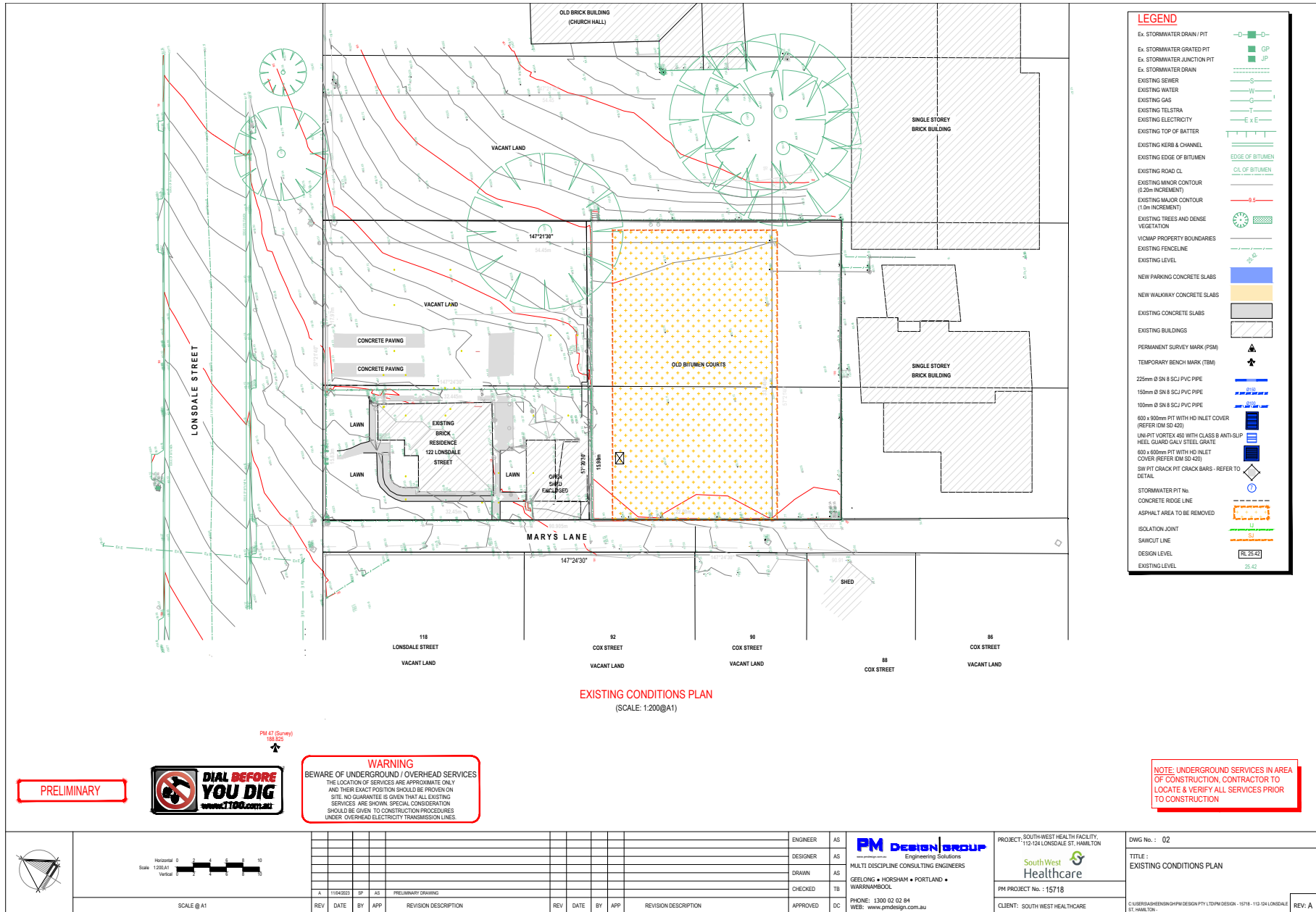
PROJECT SOUTH WEST HEALTH FACILITY,
110-124 LONSDALE ST, HAMILTON

South West Healthcare

PM PROJECT No. : 15718

CLIENT: SOUTH WEST HEALTHCARE

DWG No. : 01	REV: A
TITLE : CIVIL FACE	
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LEGEND

- Ex. STORMWATER DRAIN / PIT
- Ex. STORMWATER GRATED PIT
- Ex. STORMWATER JUNCTION PIT
- Ex. STORMWATER DRAIN
- EXISTING SEWER
- EXISTING WATER
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- EXISTING MINOR CONTOUR (0.25m INCREMENT)
- EXISTING MAJOR CONTOUR (1.0m INCREMENT)
- EXISTING TREES AND DENSE VEGETATION
- VICMP PROPERTY BOUNDARIES
- EXISTING FENCELINE
- EXISTING LEVEL
- NEW PARKING CONCRETE SLABS
- NEW WALKWAY CONCRETE SLABS
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- TEMPORARY BENCH MARK (TBM)
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- 150mm Ø 8 SCJ PVC PIPE
- 100mm Ø 8 SCJ PVC PIPE
- 600 x 900mm PIT WITH HD INLET COVER (REFER DIM S2 420)
- 100mm PIT VORTEX 450 WITH CLASS B ANTI-SLIP HEEL GUARD GALV STEEL GRATE
- 600 x 600mm PIT WITH HD INLET COVER (REFER DIM S2 420)
- SW PIT CRACK PIT CRACK BARS - REFER TO DETAIL
- STORMWATER PIT No.
- CONCRETE RIDGE LINE
- ASPHALT AREA TO BE REMOVED
- ISOLATION JOINT
- SAWCUT LINE
- DESIGN LEVEL
- EXISTING LEVEL

EXISTING CONDITIONS PLAN
(SCALE: 1:200@A1)

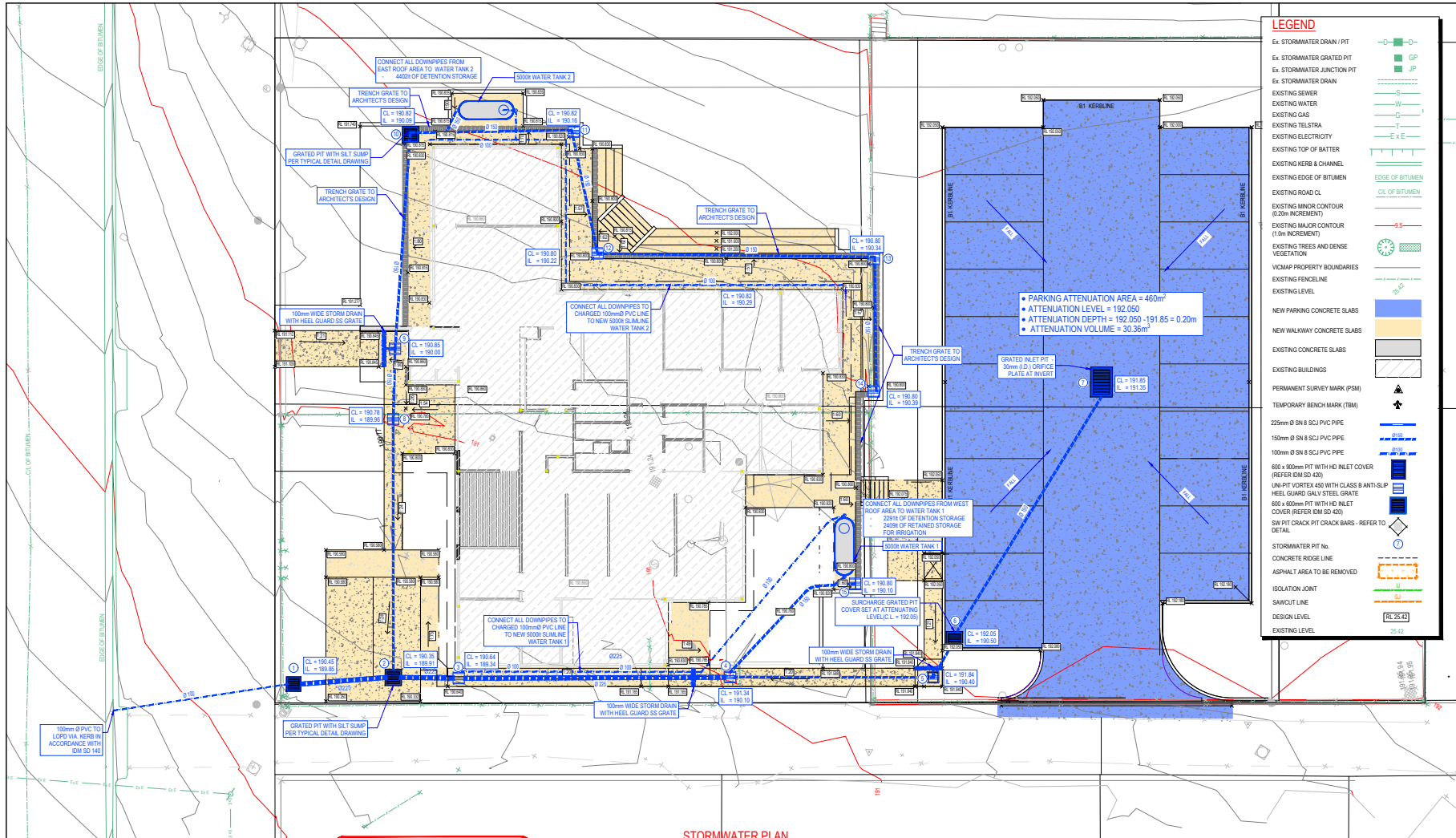
PRELIMINARY



WARNING
BEWARE OF UNDERGROUND / OVERHEAD SERVICES
THE LOCATION OF SERVICES ARE APPROXIMATE ONLY AND THEIR EXACT POSITION SHOULD BE PROVIDED ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.

NOTE: UNDERGROUND SERVICES IN AREA OF CONSTRUCTION. CONTRACTOR TO LOCATE & VERIFY ALL SERVICES PRIOR TO CONSTRUCTION

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STORMWATER PLAN
(SCALE: 1:100@A1)

PRELIMINARY



WARNING
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NOTE: UNDERGROUND SERVICES IN AREA OF CONSTRUCTION. CONTRACTOR TO LOCATE & VERIFY ALL SERVICES PRIOR TO CONSTRUCTION



Horizontal Scale 1:100@A1
Vertical Scale 1:100@A1

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C	16/02/2023	AS	TS	REVISED ARCHITECTS LAYOUT					
B	16/02/2023	AS	TS	ARCHITECTS COMMENTS INCORPORATED					
A	17/02/2023	AS	TS	PRELIMINARY DRAWING					

ENGINEER	AS	 Engineering Solutions MULTI DISCIPLINE CONSULTING ENGINEERS GEELONG • HORSHAM • PORTLAND • WARRANBOOL PHONE: 1300 02 02 84 WEB: www.pmdesign.com.au
DESIGNER	AS	
DRAWN	AS	
CHECKED	TB	
APPROVED	DC	

PROJECT: SOUTH WEST HEALTH FACILITY
12-124 LONSDALE ST, HAMILTON

PM PROJECT No.: 15718
 CLIENT: SOUTH WEST HEALTHCARE

DWG No.: 03
 TITLE: STORMWATER PLAN
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 09/02/2023 09:00:00
 REV: C

GRADED PIT WITH SILT SUMP
NOT TO SCALE

GRADED PIT
REFER DM S2420
(ALL MEASUREMENTS IN MILLIMETRES)
(NTS)

NOTES:

- HEAVY DUTY COVERS TO BE USED WHEN SUBJECT TO TRAFFICABLE LOADS (AS3996 CLASS D - 240kN) OR APPROVED EQUIVALENT. MEDIUM DUTY COVERS TO BE USED IN OFF ROAD USE (AS3996 CLASS B - 80kN) OR APPROVED EQUIVALENT.
- CONCRETE STRENGTH F_C = 25MPa (MIN) AT 28 DAYS.
- FOR TOP OF PIT DETAILS AND CHAMBER DIMENSIONS, REFER TO SPECIFIC DESIGN PIT SCHEDULE AND RELEVANT STANDARD DRAWINGS.

GRADED ORIFICE PIT AT PARKING
REFER DM S2420
(ALL MEASUREMENTS IN MILLIMETRES)
(NTS)

NOTES:

- HEAVY DUTY COVERS TO BE USED WHEN SUBJECT TO TRAFFICABLE LOADS (AS3996 CLASS D - 240kN) OR APPROVED EQUIVALENT. MEDIUM DUTY COVERS TO BE USED IN OFF ROAD USE (AS3996 CLASS B - 80kN) OR APPROVED EQUIVALENT.
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PIPE TRENCH DETAIL (UNDER LANDSCAPE)
NTS

PIPE TRENCH DETAIL (UNDER PAVEMENT)
NTS

SLIMLINE TANK DETAIL
NOT TO SCALE

ROOF No.	TANK MODEL NUMBER	TOTAL TANK STORAGE (L)	HEIGHT TO OVERFLOW INVERT 'Z' (mm)	REQUIRED TANK STORAGE FOR DETENTION (L)	% STORAGE DETENTION	RETENTION STORAGE HEIGHT - TO RESTRICTED OUTFLOW INVERT 'Y' (mm)	RESTRICTED OUTFLOW INTERNAL DIAMETER (mm)	RESTRICTED OUTFLOW SPECIFICATION
ROOF WEST	BUSHMAN TEL1100	5000	1700	2290.4	45.81	779	921	VINDEK PE100 DN200 SDR14
ROOF EAST	BUSHMAN TEL1100	5000	1700	4401.6	88.03	1500	200	VINDEK PE100 DN200 SDR9

LEGEND

- Ex. STORMWATER DRAIN / PIT
- Ex. STORMWATER GRATED PIT
- Ex. STORMWATER JUNCTION PIT
- Ex. STORMWATER DRAIN
- EXISTING SEWER
- EXISTING WATER
- EXISTING GAS
- EXISTING TELSTRA
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- EXISTING TOP OF BATTER
- EXISTING KERB & CHANNEL
- EXISTING EDGE OF FOOTPATH
- EXISTING ROAD CL
- EXISTING MINOR CONTOUR (0.20m INCREMENT)
- EXISTING MAJOR CONTOUR (1.0m INCREMENT)
- EXISTING TREES AND DENSE VEGETATION
- VICMAP PROPERTY BOUNDARIES
- EXISTING FENCELINE
- EXISTING LEVEL
- NEW PARKING CONCRETE SLABS
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NOTE: UNDERGROUND SERVICES IN AREA OF CONSTRUCTION, CONTRACTOR TO LOCATE & VERIFY ALL SERVICES PRIOR TO CONSTRUCTION

PRELIMINARY

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DESIGNER	AS		<p>PM PROJECT No. : 15718</p>	TITLE : STORMWATER DETAIL PLAN
DRAWN	AS			CLIENT: SOUTH WEST HEALTHCARE
CHECKED	TB			
APPROVED	DC			

REV	DATE	BY	APP	REVISION DESCRIPTION	REV	DATE	BY	APP	REVISION DESCRIPTION
A	16/02/23	AS	TB	ARCHITECTS COMMENTS INCORPORATED					
A	15/02/23	AS	AS	PRELIMINARY DRAWING					

CONCRETE

C1. MAXIMUM SLUMP TO BE AVERAGE (PLUS OR MINUS 15MM)

C2. DRYING SHRINKAGE: MEAN MEDIAN VALUE SHALL NOT EXCEED 100MICROSTRAINS AT 56 DAYS

C3. CONSTRUCTION JOINTS WHERE NOT SHOWN ON THE DRAWING SHALL BE LOCATED TO THE APPROVAL OF THE OFFICE.

C4. ALL CONCRETE SLABS SHALL BE MOST CURED FOR A MINIMUM OF 7 DAYS AFTER CONCRETE IS PLACED, AND CURING MUST COMMENCE WITHIN HOURS OF PLACEMENT

C5. ADDITIVES AND CURING COMPOUNDS MUST NOT BE USED UNLESS APPROVED BY THIS OFFICE

C6. WORKMANSHIP & MATERIALS SHALL COMPLY WITH THE CURRENT AUSTRALIAN STANDARDS IN PARTICULAR AS 300.

C7. CONCRETE 9M DESIGN SHALL BE SUBMITTED TO THE SITE SUPERINTENDENT FOR APPROVAL FIVE (5) DAYS PRIOR TO ORDERING

C8. ALL CEMENT TO BE TYPE GP OR GR AS 307 UNLESS SPECIFIED OTHERWISE

C9. CONCRETE FINISH SURFACE TO BE WOOD FLOOR FINISH

C10. CONCRETE PITS MUST BE FLUSH WITH ADJACENT GRASS SURFACES

C11. ALL JOINTS LOGICALLY LOCATED ARE TO BE SEALED TO FULL DEPTH AS SHOWN ON DRAWINGS WITH BRUSHED CONSTRUCTION JOINT SEALANT OR APPROVED EQUIVALENT FOR FLUSH FINISH

C12. WHERE SURFACE SLITS AND SANDS MAY BECOME UNDESIRABLE DURING WET MONTHS, THE IMMEDIATE PLACEMENT OF A 50MM MINIMUM SURFACE OF AT LEAST 200MM OR THE ADDITION OF LIME MAY BE NECESSARY

C13. EXCAVATION NEAR THE BUILDING EDGE SHALL BE BACK FILLED IN SUCH A MANNER TO PREVENT READY ACCESS OF WATER TO THE FOUNDATION OF THE SLAB

C14. A VAPOR BARRIER SHALL BE PLACED UNDER ALL SLABS CAST ON GROUND. THIS SHALL BE A 2 mm THICK POLYETHYLENE MEMBRANE BARRIERS. ALL CONCRETE MEMBRANE SHALL BE LAPPED 200 mm AND MAY BE TAPERED AT JOINTS. IT SHALL BE TYPED BY PLANTURES AND PENETRATIONS MADE BY PLUMBING FITTINGS OR THE LIKE

C15. CONTINUITY OF REINFORCEMENT SHALL BE MAINTAINED AT FLOOR SLAB RECESSES FOR MATS ETC.

C16. PENETRATIONS INTO ANY STRUCTURAL ELEMENTS (REINFORCED CONCRETE, STEELWORK, LOAD BEARING MASONRY) ARE NOT TO BE CARRIED OUT UNLESS THE MAXIMUM DIMENSIONS ARE NOTICED ON THE STRUCTURAL DRAWINGS

C17. CONCRETE SHALL NOT BE PLACED IN TEMPERATURES GREATER THAN 30°C WITHOUT PRIOR CONSULTATION AND SUBSEQUENT APPROVAL OF ENGINEER

C18. WORKING CLASSIFICATION AS 14

C19. ALL CONCRETE MATERIALS AND WORKMANSHIP SHALL BE IN ACCORDANCE WITH AS360 AND ALL CODES REFERRED TO THEREIN

C20. ALL CONCRETE PLACED SHALL HAVE A MINIMUM COMPRESSIVE STRENGTH P4.1 28 DAYS AS DETERMINED BY PROJECT CONTROL TESTS AS FOLLOWS:

SLAB OR ELEMENT	STRENGTH IN MPa
CONCRETE SLABS SHOWN ON DRAWING	40
CONCRETE SLABS NOT SHOWN ON DRAWING	30

C21. CONCRETE SLABS SHOWN ON DRAWING MUST BE FINISH AND CONCRETE MEMBERS MUST NOT BE REDUCED OR HOLED IN ANY WAY WITHOUT THE ENGINEER'S APPROVAL

C22. ALL REINFORCEMENT IS SHOWN DIAGRAMMATICALLY AND SHALL ONLY BE SPECIFIED IN LOCATIONS SHOWN EXCEPT FOR REINFORCING BARS TO BE USED IN LOCATIONS WHERE A MINIMUM OF TWO TRANSVERSE WIRES OVERLAP IN ACCORDANCE WITH AS360

C23. REINFORCEMENT NOTATION AND GRADING:

- R - CONCRETE REINFORCEMENT BARS AS 100
- N - CEMENTS BARS DEF ORMS BARS TO AS 4671
- L - CEMENTS BARS DEF ORMS BARS TO AS 4671

C24. CONCRETE COVER TO ALL REINFORCEMENT INCLUDING LEGATUES UNLESS NOTED OTHERWISE TO BE:

- INTERNAL CONCRETE CAST IN FORMWORK
 - 30mm SLAB ELEMENTS
 - 30mm SLABS ON MEMBRANES
 - 20mm COLUMN
 - 20mm ALL OTHER ELEMENTS
- EXTERNAL CONCRETE CAST IN FORMWORK
 - 40mm 150mm COASTLINE
 - 40mm 150mm 150mm ELEMENTS

C25. CONCRETE COVER TO BE MAINTAINED BY THE USE OF APPROVED CHAIRS AND PLACED AT APPROX 100mm CROSS CENTRES. CHAIRS, PIPES ETC. ARE NOT TO BE PLACED IN CONCRETE COVER

C26. NO CONCRETE SHALL BE POURED UNLESS MECHANICAL VIBRATORS ARE EITHER IMMERSED OR ATTACHED TO FORMS AND OPERATED FOR THE ENTIRE THICKNESS OF CONCRETE. CHAIRS SHALL BE PERMITTED TO BE VISIBLE IN STIFFED JOINTS, EDGES OR FACE OF STRUCTURE

C27. ALL CONCRETE SHALL BE CURED FOR AT LEAST 7 DAYS AFTER POURING DURING ALL EMPLOYED CONCRETE SURFACES SHALL BE PROTECTED AND KEPT MOIST BY PONDING COVERING WITH WET Hessian OR SIMILAR WITH CURING COMPOUND APPROVED BY THE ENGINEER

C28. SAWCUT JOINTS WHERE INDICATED ON THE STRUCTURAL DRAWINGS MUST BE MADE WITHIN 12 HOURS OF COMPLETION OF THE POUR

C29. PROVIDE 2 NO. 12 REINBAR BARS X 200mm LONG, TIED TO USE OF TOP MESH AT ALL RE-ENTRANT CORNERS

C30. THE DEVIATION OF ANY POINT ON A SURFACE OF A MEMBER FROM A STRAIGHT LINE JOINT ANY TWO POINTS ON THE SURFACE SHALL NOT EXCEED 3mm IN 300mm

REJECTION OF CONCRETE

RC1. CONCRETE WHICH IS NOT BE RECEIVED AFTER COMPLETION OF WORKS BUT PRIOR TO HANDING THE SLAB OFFERS FROM THAT SPECIFIED

RC2. HARDENED CONCRETE SHALL BE UNABLE TO REJECTION IF:

- IF IT IS SUBJECT TO DISINTEGRATION OR WEAR/COMES ON CONTAINS SURFACE DEFECTS
- FAILS TO COMPLY WITH OTHER REQUIREMENTS OF AS300

SAMPLING AND TESTING OF CONCRETE

ST1. ALL CONCRETE SHALL BE ASSESSED IN ACCORDANCE WITH AS1010 FOR COMPLIANCE WITH THE SPECIFIED STRENGTH (SLAB) AND OTHER PARAMETERS (COLUMNS) FROM EACH ELEMENT WITH TEST SAMPLE CONSIST OF TWO STANDARD CYLINDERS MOULD IN ACCORDANCE WITH AS1010 TAKEN FROM A SINGLE COMPOSITE SAMPLE AND TESTED AT 28 DAYS IN ACCORDANCE WITH AS1010

UNLESS OTHERWISE SPECIFIED, SAMPLES SHALL BE TAKEN AT THE FOLLOWING PROVISIONS:

- 1. 1 TRUCK (2 COLUMNS) 1 TEST
- 2. 2 TRUCKS (4 COLUMNS) 1 TEST
- 3. 3 TRUCKS (8 COLUMNS) 1 TEST
- 4. 4 TRUCKS (16 COLUMNS) 1 TEST

TESTING SHALL BE CARRIED OUT BY AN APPROVED INDEPENDENT TESTING AUTHORITY. TWO COPIES OF TEST RESULTS SHALL BE FORWARDED TO THE CLIENT'S APPOINTED SUPERINTENDENT/CLERK OF WORKS WITHIN 24 HOURS OF RECEIPT OF RESULTS

GENERAL

G1. THESE DRAWINGS SHALL BE READ IN CONJUNCTION WITH THE CURRENT RELEVANT CONSULTANT DRAWINGS AND SPECIFICATIONS AND WITH SUCH OTHER WRITTEN INSTRUCTIONS AS MAY BE ISSUED DURING THE COURSE OF THE CONTRACT

G2. CONTRACT DRAWINGS SHALL NOT BE USED FOR CONSTRUCTION UNLESS AS 'AS' CONSTRUCTION EDGE

G3. THESE REVISES ARE SUPPLEMENTARY TO AND DO NOT REPLACE THE SPECIFICATION TO WHICH THE CONTRACTOR MUST CONFORM

G4. ANY DISCREPANCIES ON THESE DRAWINGS SHALL BE REFERRED TO THIS OFFICE FOR RESOLUTION BEFORE PROCEEDING WITH THE WORK

G5. MATERIALS AND WORKMANSHIP ARE TO BE IN ACCORDANCE WITH THE RELEVANT CURRENT AUSTRALIAN STANDARDS AND THE BUILDING CODE OF AUSTRALIA

G6. THE CONTRACTOR AND/OR SUB CONTRACTORS ARE RESPONSIBLE FOR VERIFYING ALL DIMENSION PANELS, LEVELS AND DIMENSIONS INCLUDING SET OUT CONSTRUCTION PRIOR TO COMMENCING WORK ON SITE. CONSTRUCTION OF OFF SITE FABRICATION

G7. SUBSTITUTION SHALL NOT BE PERMITTED WITHOUT THE WRITTEN APPROVAL OF THE CLIENT'S APPOINTED SUPERINTENDENT/CLERK OF WORKS. APPROVAL OF ANY SUBSTITUTION OF ANY AUTHORIZATION FOR AN EXTRA TO THE CONTRACT

G8. THE CONTRACTOR SHALL BE RESPONSIBLE FOR MAINTAINING ALL EXISTING STRUCTURES AND ALL EXCAVATIONS IN A STABLE CONDITION AND ENSURING THAT THEY ARE NOT DISTURBED BY CONSTRUCTION ACTIVITIES

G9. IF THE CONTRACTOR AND/OR SUB CONTRACTORS RESPONSIBILITY TO PROVIDE A HOUR MINIMUM NOTICE TO THE CLIENT'S APPOINTED SUPERINTENDENT/CLERK OF WORKS OF ALL INTENDED INSPECTION REQUIREMENTS. THE CLIENT'S APPOINTED SUPERINTENDENT/CLERK OF WORKS IS NOT PREPARED TO GUARANTEE ATTENDANCE SHOULD THIS REQUEST BE IGNORED

G10. IF THE CONTRACTORS RESPONSIBILITY TO GUARANTEE THAT ANY CLAIMS FOR VARIATION TO THE CONTRACT SUM ARE TO BE TAKEN UP AND RESOLVED WITH THE CLIENT'S APPOINTED SUPERINTENDENT/CLERK OF WORKS PRIOR TO THE WORK BEING UNDERTAKEN

PAVEMENT JOINTING PLAN (SCALE: 1:500@A1)

LEGEND

- Ex. STORMWATER DRAIN (PIT)
- Ex. STORMWATER GRATED PIT
- Ex. STORMWATER JUNCTION PIT
- Ex. STORMWATER DRAIN
- EXISTING WATER
- EXISTING GAS
- EXISTING TELSTRA
- EXISTING ELECTRICITY
- EXISTING TOP OF BATTER
- EXISTING KERB & CHANNEL
- EXISTING EDGE OF BITUMEN
- EXISTING ROAD CL.
- EXISTING MINOR CONTOUR (0.20m INCREMENT)
- EXISTING MAJOR CONTOUR (1.0m INCREMENT)
- EXISTING TREES AND DENSE VEGETATION
- VCMAP PROPERTY BOUNDARIES
- EXISTING FENCE LINE
- EXISTING PARKING
- NEW PARKING CONCRETE SLABS
- NEW WALKWAY CONCRETE SLABS
- EXISTING CONCRETE SLABS
- EXISTING BUILDINGS
- PERMANENT SURVEY MARK (PSM)
- TEMPORARY BENCH MARK (TBM)
- 225mm Ø SM 8 SCJ PVC PIPE
- 150mm Ø SM 8 SCJ PVC PIPE
- 100mm Ø SM 8 SCJ PVC PIPE
- 60 x 90mm PIT WITH HD INLET COVER (REFER DIM S2 420)
- UNI-PIT VORTEX 450 WITH CLASS B ANTI-SLIP HEEL GUARD GALV STEEL GRATE
- 60 x 90mm PIT WITH HD INLET COVER (REFER DIM S2 420)
- SW PIT CRACK PIT CRACK BARS - REFER TO DETAIL
- STORMWATER PIT No.
- CONCRETE RIDGE LINE
- ASPHALT AREA TO BE REMOVED
- ISOLATION JOINT
- SAWCUT LINE
- DESIGN LEVEL
- EXISTING LEVEL

B1 KERB PROFILE DETAIL

WALKWAY DETAIL

CARPAK PAVEMENT DETAIL

CRACK BAR REINFORCEMENT AT PITS DETAIL

EXPANSION JOINT DETAIL (EJ)

SAWCUT JOINT DETAIL

CONSTRUCTION JOINT DETAIL

ISOLATION JOINT DETAIL

WARNING
BEWARE OF UNDERGROUND / OVERHEAD SERVICES
THE LOCATION OF SERVICES ARE APPROXIMATIVE ONLY AND THEIR EXACT POSITION SHOULD BE PROVIDED ON SITE. NO GUARANTEE IS GIVEN THAT ALL EXISTING SERVICES ARE SHOWN. SPECIAL CONSIDERATION SHOULD BE GIVEN TO CONSTRUCTION PROCEDURES UNDER OVERHEAD ELECTRICITY TRANSMISSION LINES.

DIAL BEFORE YOU DIG
1100 000 000

PRELIMINARY

REV	DATE	BY	APP	REVISION DESCRIPTION	REV	DATE	BY	APP	REVISION DESCRIPTION
A	16/06/2023	AS	TB	REVISED ARCHITECTS LAYOUT					
B	19/06/2023	AS	TB	ARCHITECTS COMMENTS INCORPORATED					
A	17/06/2023	AS	TB	PRELIMINARY DRAWING					

Scale: AS SHOWN

SCALE @ A1

ENGINEER	AS	DESIGNER	AS	DRAWN	AS	CHECKED	TB	APPROVED	DC
ENGINEERING SOLUTIONS MULTI DISCIPLINE CONSULTING ENGINEERS GEELONG • HORSHAM • PORTLAND • WARRANBOOL PHONE: 1300 02 02 84 WEB: www.pmdesign.com.au									

PROJECT: SOUTH WEST HEALTH FACILITY
12-124 LONSDALE ST, HAMILTON

DWG No.: 05

TITLE: PAVEMENT JOINTING PLAN

PM PROJECT No.: 15718

CLIENT: SOUTH WEST HEALTHCARE

REVISION: C:\USER\ASHEN\PROJECTS\PM DESIGN PTY LTD\PM DESIGN - 15718 - 12-124 LONSDALE ST - HAMILTON - 08NOV2023\15718_CIVIL_DRAWING\SET REV - 14_06_2023.DWG